

Kershaw County Planning and Zoning Department

515 Walnut Street, Room 160, Camden, SC 29020 803-425-7233



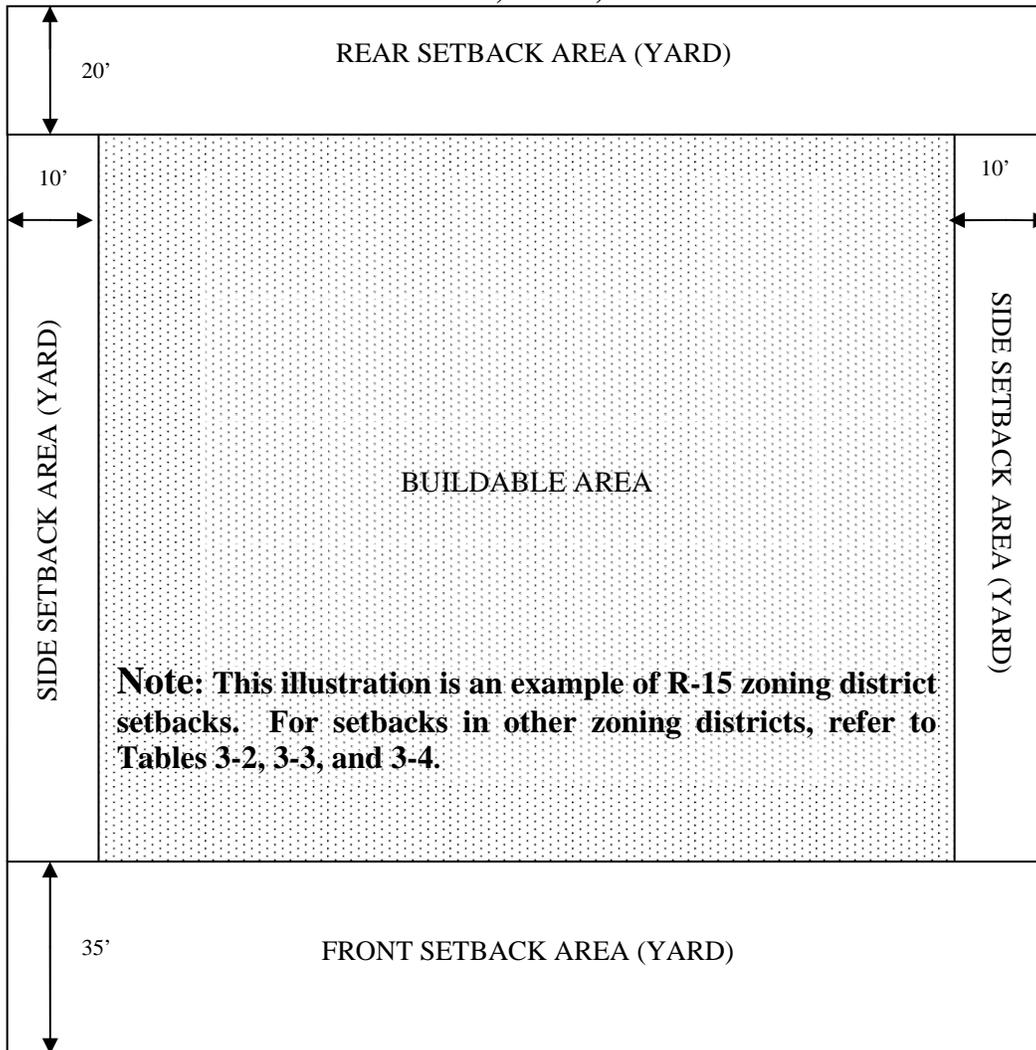
FENCES

Buildable Area

Section 3:2.1-5, Unified Code of Zoning and Land Development Regulations

Fences, walls, and hedges not to exceed eight (8) feet in height; provided that no such structure or hedge shall impede visibility as required by this section; further provided that no such fence, wall, or hedge shall exceed four (4) feet in height when located in a front yard setback area. Fences or walls designed to enclose a residential PDD may be built to a height of ten (10) feet in any yard area, subject to approval for safety by the Building Official. All fences and walls used as part of the buffer area requirements must have a finished side that is facing the adjoining property. The interior side of the fence or wall may be finished as owner deems appropriate.

Illustration of Setbacks, Yards, and Buildable Area



Location of Accessory Structures

Section 3:2.5-3, Unified Code of Zoning and Land Development Regulations

Stables, Shelters, and Pens for Housing Animals (Non Agricultural Production)

1. Parcels Less than Three (3) Acres:

On parcels less than three (3) acres, stables, shelters, and pens for housing animals shall be located in the rear of the principal building only; provided such uses shall be located no closer than:

- a. Ten (10) feet from any property line; or
- b. three (3) feet to any property line adjacent to a street right-of-way or adjacent property which may not be used for building or development (e.g. swamps, wetlands).

2. Parcels Larger than Three (3) Acres:

On parcels larger than three (3) acres, stables, shelters, and pens may be located in the side yard provided that the side yard setback requirements are met, or in the rear of the principal building areas provided such uses shall be located no closer than:

- a. Ten (10) feet from any property line; or
- b. three (3) feet to any property line adjacent to a street right-of-way or adjacent property which may not be used for building or development (e.g. swamps, wetlands).

Paddock Fences - Paddock fences may be located in required yards and setback areas under the following conditions:

1. Lots Less than Three (3) Acres:

- a. Residentially Zoned Lots Less than Three (3) Acres - In rear of the principal building only, but no closer than ten (10) feet to the property line.
- b. Non-Residentially Zoned Lots with Less than Three (3) Acres - In rear of the principal building only, but no closer than five (5) feet to the property line.

2. Lots Greater than Three (3) Acres:

- a. Residentially Zoned Lots Greater than Three (3) Acres - In all side or rear yards but no closer than ten (10) feet to the property line.
- b. Non-Residentially Zoned Lots Greater than Three (3) Acres - In all front, side, or rear yards up to the property line.

3. Lot Lines of all Properties Adjacent to Street Right-of-Way, Existing Equestrian Uses, or Property Which May Not Be Used for Building or Development (e.g. swamps, wetlands) and All Non-Residentially Zoned Lots - In all required yards and setback areas up to the property line.

Townhouses

Section 3:3.16, Unified Code of Zoning and Land Development Regulations

Rear yards shall be enclosed by a minimum six (6) foot wall or fence. If the rear yard is used for parking, wall or fence configurations may be modified to accommodate access to the parking area. All fences and walls must have a finished side that is facing the adjoining property. The interior side of the fence or wall may be finished as owner deems appropriate. Walls may be brick or masonry. Plain concrete block must be rendered with decorative facing such as stucco, brick veneer, etc. Wood stockade fences (with spaces between the stakes) and unpainted fences are not allowed. Chain link, wire, or other fences that do not create a visible barrier are not allowed.

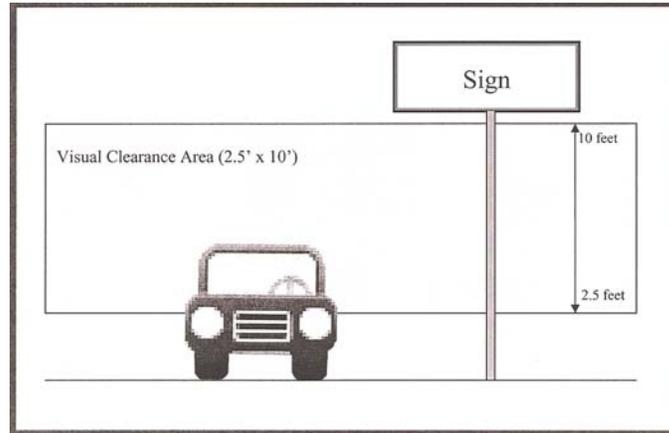
Visibility at Intersections

Section 3:4.8-3, Unified Code of Zoning and Land Development Regulations

Railroad, street, and driveway intersections shall be unobstructed for the vision of motorists, pedestrians, and other possible users. No plantings or vegetation shall be placed or maintained, and no sign, fence, building, wall, or other structure shall be located in a visual clearance area within an

intersection sight triangle or a driveway sight triangle as defined below. The Public Works Director shall make a determination of compliance with visibility at intersections, if required.

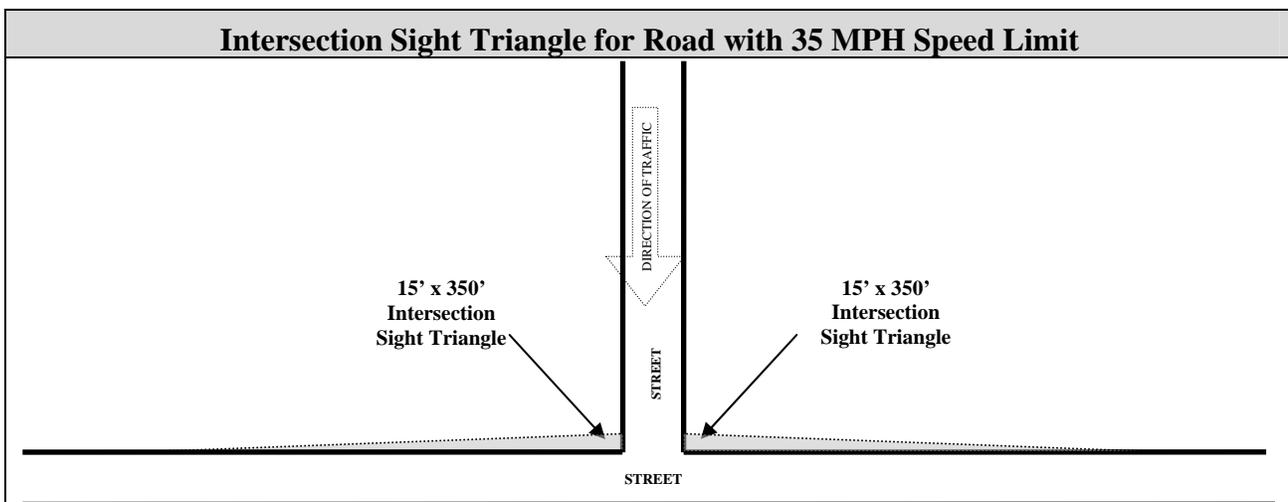
- A. **Visual Clearance Area** - An area with a height of between two and one-half (2½) feet and ten (10) feet, measured from the upper edge of the curb or pavement, and located within an intersection or driveway sight triangle, where no sign, planting, fence, building, wall, or other structure shall be located. Exception: Poles and support structures less than twelve (12) inches in diameter may be permitted in such areas.



Visual Clearance Area

- B. **Sight Triangle** - A triangular area, measured from the curb or edge of pavement, created by a line connecting points on the front and side for lines at a determined distance from the intersection of said lines or the extension of said lines. The following two types of sight triangles are used in this Ordinance:

1. **Intersection Sight Triangle** - A triangle established by multiplying the speed limit of the road which is being accessed by ten (10). The sight distance for a speed limit of 35 MPH would be 350 feet at the intersection. The resulting intersection sight distance triangle is determined by measuring from a point fifteen (15) feet from the edge of pavement of the road being accessed to the points providing the minimum intersection sight distance in each direction.



2. **Driveway Sight Triangle** - The driveway sight triangle is one that is measured ten (10) feet along the driveway and ten (10) feet along the edge of pavement. In the event that parking is allowed adjacent to the curb, ten (10) feet will be measured along the edge of the driveway and

ten (10) feet along the edge of the lane of traffic. In the event that a driveway crosses a sidewalk, ten (10) feet will be measured along the driveway and ten (10) feet along the edge of the sidewalk. Refer to illustrations in the sign measurement provisions of this Ordinance.

